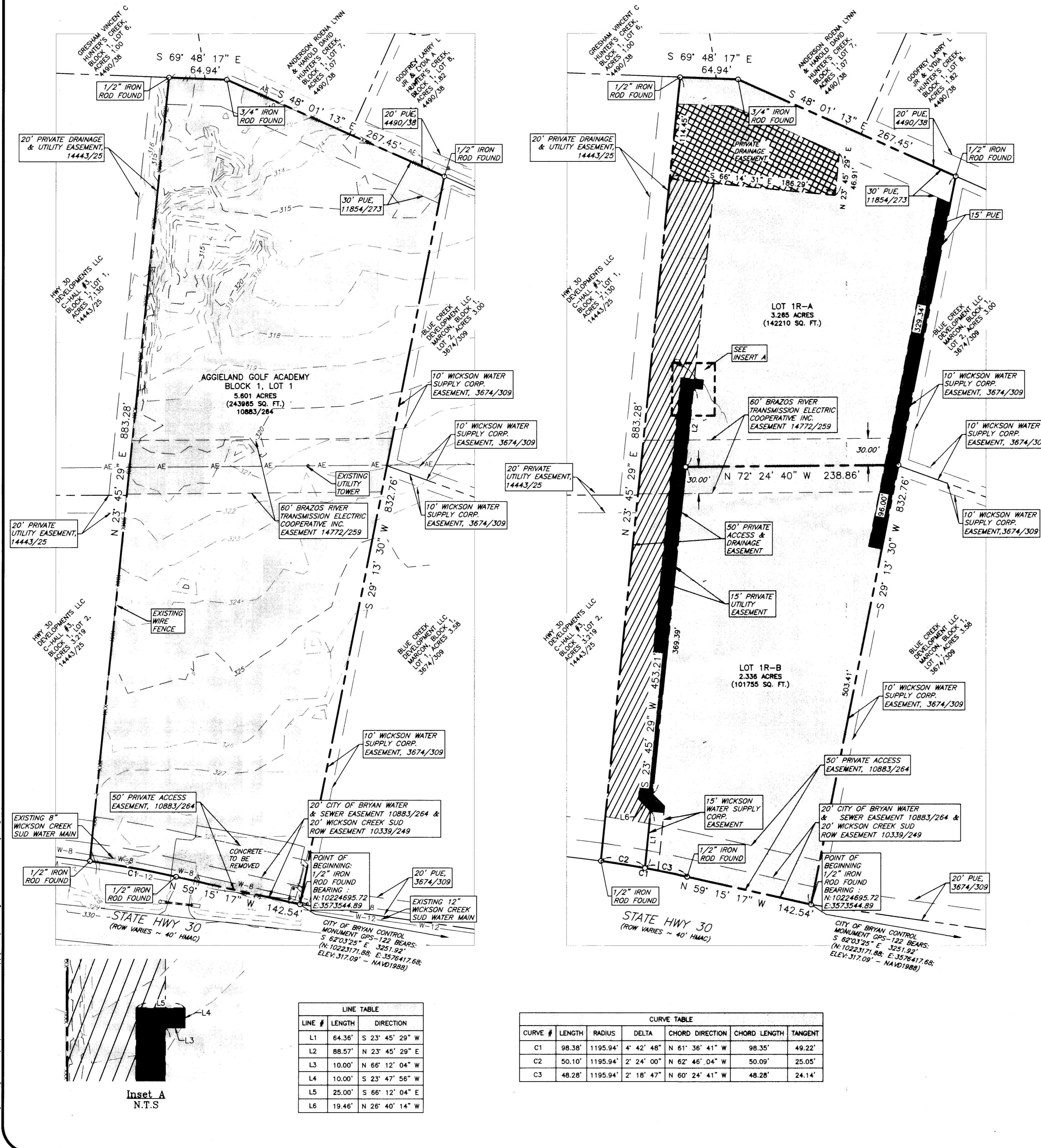


ORIGINAL PLAT

REPLAT



CERTIFICATE OF OWNERSHIP AND DEDICATION

STATE OF TEXAS  
 COUNTY OF BRAZOS  
 I, **KARIM Q. MAKNOJIA**, owner of Tri-Mutual Investments LLC, owner of the 5.601 acre tract shown on this plat, being the same tract of land as conveyed in the Deeds Records of Brazos County in Volume 10883, Page 264, and designated herein as Lots 1R-A & 1R-B, in the City of Bryan, Texas and whose name is subscribed hereto dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places hereon shown for the purposes identified.

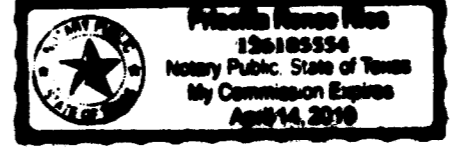
**KARIM Q. MAKNOJIA**  
 Owner  
 Tri-Mutual Investments LLC

STATE OF TEXAS  
 COUNTY OF BRAZOS

Before me, the undersigned authority, on this day personally appeared, **KARIM Q. MAKNOJIA**, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose stated.

Given under my hand and seal on this 25th day of JULY, 2018.

**[Signature]**  
 Notary Public, Brazos County, Texas



CERTIFICATION OF THE SURVEYOR  
 STATE OF TEXAS  
 COUNTY OF BRAZOS

I, Brad Kerr, Registered Professional Land Surveyor No. 4502, in the State of Texas, hereby certify that this plat is true and correct and was prepared from an actual survey of the property and that the property markers and monuments were placed under my supervision on the ground, and that the metes and bound describing said subdivision will describe a closed geometric form.

**[Signature]**  
 Brad Kerr, R.P.L.S. No. 4502



APPROVAL OF PLANNING AND ZONING COMMISSION

I, **Bobby Gutierrez**, Chair of the Planning and Zoning Commission of the City of Bryan, State of Texas, hereby certify that the attached plat was duly filed for approval with the Planning and Zoning Commission of the City of Bryan on the 14th day of April, 2018, and same was duly approved on the 14th day of April, 2018, by said Commission.

**[Signature]**  
 Chair, Planning & Zoning Commission, Bryan, Texas

APPROVAL OF THE CITY PLANNER

I, **Matia Zimmerman**, the undersigned, City Planner and/or designated Secretary of the Planning and Zoning Commission of the City of Bryan, hereby certify that this plat is in compliance with the appropriate codes and ordinances of the City of Bryan and was approved on the 14th day of August, 2018.

**[Signature]**  
 City Planner, Bryan, Texas

APPROVAL OF THE CITY ENGINEER

I, **[Signature]**, the undersigned, City Engineer of the City of Bryan, hereby certify that this plat is in compliance with the appropriate codes and ordinances of the City of Bryan and was approved on the 14th day of August, 2018.

**[Signature]**  
 City Engineer, Bryan, Texas

CERTIFICATE OF THE COUNTY CLERK

STATE OF TEXAS  
 COUNTY OF BRAZOS

I, \_\_\_\_\_ County Clerk, in \_\_\_\_\_ together with its \_\_\_\_\_, in the Official \_\_\_\_\_  
 Records of Brazos County in Volume \_\_\_\_\_ Page \_\_\_\_\_  
 County Clerk, Brazos County, Texas

**[Signature]**  
**[Signature]**

Filed for Record  
 Official Public Records Of:  
 Brazos County Clerk  
 On: 8/10/2018 2:07:54 PM  
 in the PLAT Records



Doc Number: 2018-1337924  
 Volume-Page: 14857-183  
 Number of Pages: 1  
 Amount: 73.00  
 Order#: 2018081000089  
 By: KG

METES AND BOUNDS DESCRIPTION

OF A  
 5.601 ACRE TRACT  
 MARIA KEGANS LEAGUE, A-28  
 BRYAN, BRAZOS COUNTY, TEXAS

METES AND BOUNDS DESCRIPTION OF ALL THAT CERTAIN TRACT OF LAND LYING AND BEING SITUATED IN THE MARIA KEGANS LEAGUE, ABSTRACT NO. 28, BRAZOS COUNTY, TEXAS, SAID TRACT BEING ALL OF LOT 1, BLOCK 1, AGGELAND GOLF ACADEMY SUBDIVISION ACCORDING TO THE PLAT RECORDED IN VOLUME 10883, PAGE 264 OF THE OFFICIAL PUBLIC RECORDS OF BRAZOS COUNTY, TEXAS, AND BEING THE SAME TRACT OF LAND AS DESCRIBED BY A DEED TO KARIM Q. MAKNOJIA RECORDED IN VOLUME 12859, PAGE 68 OF THE OFFICIAL PUBLIC RECORDS OF BRAZOS COUNTY, TEXAS.

SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:  
 BEGINNING AT A 1/2" IRON ROD FOUND (N10224695.72; E3573544.89) ON THE NORTHEAST LINE OF STATE HIGHWAY NO. 30 MARKING THE SOUTH CORNER OF SAID LOT 1 AND THE WEST CORNER OF LOT 1, BLOCK 1, MARCON SUBDIVISION AS SHOWN ON THE PLAT RECORDED IN VOLUME 3674, PAGE 309 OF THE OFFICIAL PUBLIC RECORDS OF BRAZOS COUNTY, TEXAS; FOR REFERENCE, THE CITY OF BRYAN CONTROL MONUMENT GPS-122 BEARS: S 82° 03' 25" E FOR A DISTANCE OF 3251.92 FEET; COORDINATES AND BEARING SYSTEM SHOWN HEREIN ARE NAD83 (TEXAS STATE PLANE CENTRAL ZONE GRID NORTH) BASED ON THE PUBLISHED COORDINATES OF THE CITY OF BRYAN CONTROL MONUMENT GPS-122 (N:10223171.88; E:3576417.88) AND AS ESTABLISHED BY GPS OBSERVATION. DISTANCES SHOWN HEREIN ARE GRID DISTANCES. TO DETERMINE SURFACE DISTANCES MULTIPLY BY A COMBINED SCALE FACTOR OF 1.00011557104542 (CALCULATED USING GEOD12B);

THENCE: N 59° 15' 17" W ALONG THE NORTHEAST LINE OF STATE HIGHWAY NO. 30 FOR A DISTANCE OF 142.54 FEET (PLAT CALL: N 55° 36' 37" W - 120.11 FEET, 10883/264) TO A POINT MARKING THE BEGINNING OF A COUNTER-CLOCKWISE CURVE HAVING A RADIUS OF 1195.94 FEET;

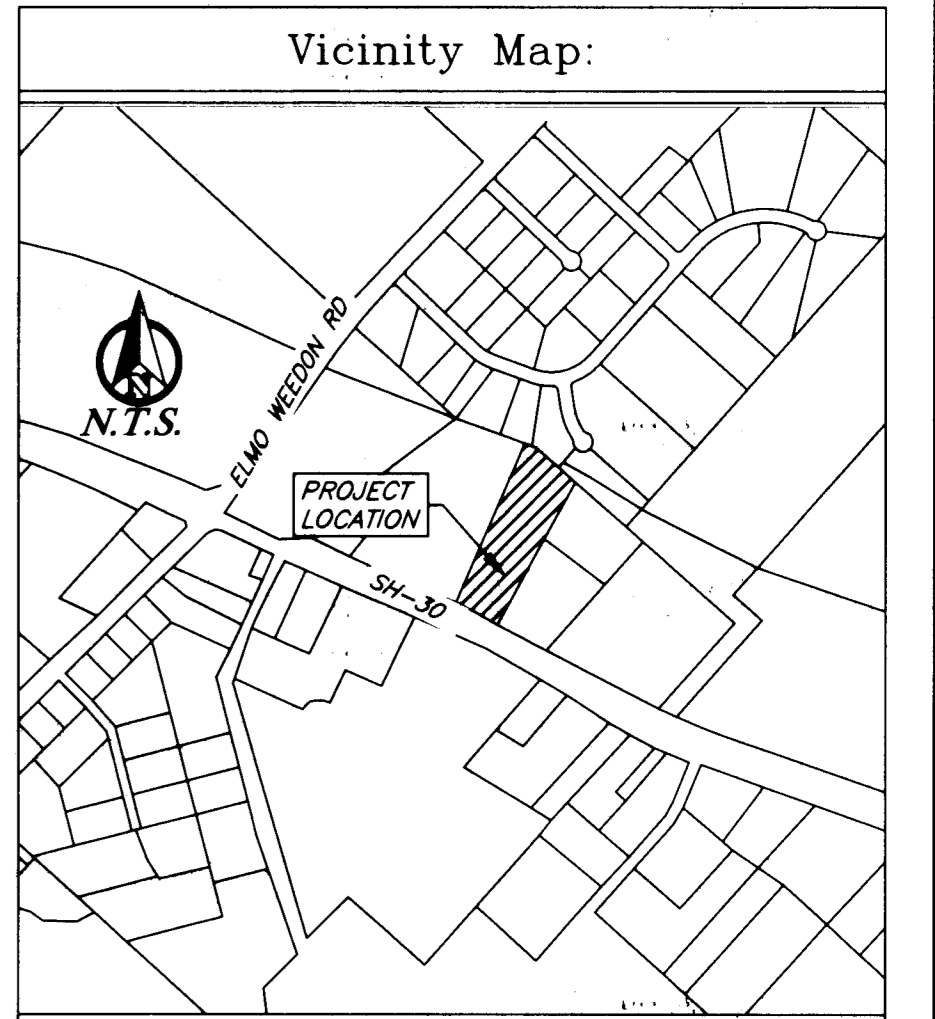
THENCE: ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 04° 42' 48" FOR AN ARC DISTANCE OF 98.36 FEET (CHORD BEARS: N 61° 36' 41" W - 98.35 FEET) (PLAT CALL: N 58° 21' 35" W - 120.70 FEET, 10883/264) TO A POINT MARKING THE WEST CORNER OF SAID LOT 1 (10883/264). FOR REFERENCE, A 1/2" IRON ROD FOUND BEARS: S 23° 45' 29" W FOR A DISTANCE OF 1.50 FEET;

THENCE: N 23° 45' 29" E ALONG THE COMMON LINE OF SAID AGGELAND GOLF ACADEMY SUBDIVISION AND THE C-HALL #3 SUBDIVISION AS SHOWN ON THE PLAT RECORDED IN VOLUME 14443, PAGE 25 OF THE OFFICIAL PUBLIC RECORDS OF BRAZOS COUNTY, TEXAS FOR A DISTANCE OF 883.28 FEET (PLAT CALL: N 27° 30' 35" E - 884.59 FEET, 10883/264) TO A 3/4" IRON ROD WITH PLASTIC CAP MARKED "KERR 4502" FOUND ON THE SOUTHWEST LINE OF LOT 6, BLOCK 1, HUNTER'S CREEK AS SHOWN ON THE PLAT RECORDED IN VOLUME 4490, PAGE 38 OF THE OFFICIAL PUBLIC RECORDS OF BRAZOS COUNTY, TEXAS; SAID IRON ROD FOUND MARKING THE NORTH CORNER OF SAID LOT 1 (10883/264) AND THE EAST CORNER OF LOT 1, BLOCK 1 OF SAID C-HALL #3 SUBDIVISION; FOR REFERENCE, A 3/8" IRON ROD FOUND BEARS: S 19° 17' 51" W FOR A DISTANCE OF 1.01 FEET;

THENCE: S 69° 48' 17" E ALONG THE SOUTHWEST LINE OF SAID HUNTER'S CREEK (4490/38) FOR A DISTANCE OF 84.94 FEET (PLAT CALL: S 66° 34' 06" E - 64.80 FEET, 10883/264) TO A 1/2" IRON ROD FOUND;

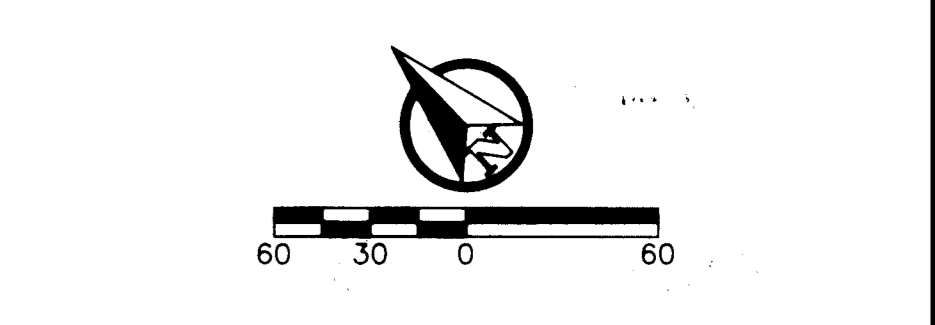
THENCE: S 48° 01' 13" E CONTINUING ALONG SAID LINE FOR A DISTANCE OF 267.45 FEET (PLAT CALL: S 44° 19' 00" E - 267.50 FEET, 10883/264) TO A 1/2" IRON ROD FOUND MARKING THE EAST CORNER OF SAID LOT 1 (10883/264) AND THE NORTH CORNER OF SAID MARCON SUBDIVISION (2674/309);

THENCE: S 29° 13' 30" W ALONG THE COMMON LINE OF SAID AGGELAND GOLF ACADEMY SUBDIVISION AND SAID MARCON SUBDIVISION FOR A DISTANCE OF 832.76 FEET (PLAT CALL: S 32° 57' 55" E - 832.62 FEET, 10883/264) TO THE POINT OF BEGINNING CONTAINING 5.601 ACRES OF LAND, MORE OR LESS, AS SURVEYED ON THE GROUND MARCH 2018.



General Notes:

- Coordinates and Bearing System shown hereon are NAD83 (Texas State Plane Central Zone Grid North) based on the published coordinates of the City of Bryan control monument GPS-122 (N:10223171.88; E:3576417.88) and as established by GPS observation.
- Distances shown hereon are Grid Distances unless otherwise noted. To obtain surface distances multiply by a combined scale factor of 1.00011557104542 (Calculated using GEOD12A).
- This property is Zoned (C-3), Commercial.
- Iron rods will be set at all angle points and lot corners, unless stated otherwise.
- This lot is not within the 100-YR floodplain according to the DFIRM for Brazos County, Texas and incorporated areas, Map No. 48041C0220E, effective May 16, 2012.
- Building setback lines Per City of Bryan Ordinance.
- All utilities shown hereon are approximate locations.
- Project Benchmark: City of Bryan Control Monument GPS-122 (Published Elevation: 317.09' - NAVD1988).
- All lots served by an individual on-site sewage facility (OSSF) must comply with all county and state (OSSF) regulations. All OSSF construction must have an Authorization to Construct (ATC) permit issued by the Brazos County Health Department. This permit ensures compliance with the county order adopted by the Commissioners Court of Brazos County, pursuant to the provisions of section 21.084 of the Texas Water Code. On-site sewage facilities disposal areas shall not encroach the 100 foot or the 150 foot sanitary zone of a private or public well respectively.
- No on-site sewage facility (OSSF) authorization to construct permit for an individual lot will be issued without first having a site evaluation report on file for that individual lot. The site evaluation must be done by a state licensed site evaluator.
- This subdivision lies within the Wickson Water Supply Corp. service area.
- The Following Blanket Easements do apply to this tract:  
 Wickson Water Supply Corp. 511/830  
 Wickson Water Supply Corp. 512/56



**FINAL PLAT**  
**Aggeland Golf Academy**  
**Subdivision Block 1,**  
**Lots 1R-A & 1R-B**

Being a Replat of  
 Aggeland Golf Academy Subdivision  
 Block 1, Lot 1 - 5.601 Acres  
 Bryan, Brazos County, Texas

July 2018

Owner:  
 Tri Mutual Investment LLC  
 17 Bernburg Ln  
 College Station, TX 77845

Engineer:  
 J4 Engineering  
 PO Box 5192  
 Bryan, TX 77805  
 979-739-0567  
 TBPE F-9951

Surveyor:  
 Kerr Surveying, LLC  
 409 N. Texas Ave.  
 Bryan, TX 77803  
 979-268-3193

J4 Engineering 7/19/2018 Standard Supply - Replat2.dwg J4E Project # 18-014

LINE TABLE

LINE #	LENGTH	DIRECTION
L1	64.36'	S 23° 45' 29" W
L2	88.57'	N 23° 45' 29" E
L3	10.00'	N 66° 12' 04" W
L4	10.00'	S 23° 47' 56" W
L5	25.00'	S 66° 12' 04" E
L6	19.46'	N 26° 40' 14" W

CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH	TANGENT
C1	98.36'	1195.94'	4° 42' 48"	N 61° 36' 41" W	98.35'	49.22'
C2	50.10'	1195.94'	2° 24' 00"	N 62° 46' 04" W	50.09'	25.05'
C3	48.28'	1195.94'	2° 18' 47"	N 60° 24' 41" W	48.28'	24.14'

